

(Pursuant to Section 221 of the *Local Government Act 1999* – excludes Underground Electrical Installation)

The issuing of this Authorisation is subject to:

- The applicant agreeing to the **General Conditions** of this Authorisation.
- The applicant agreeing to the **Special Conditions** of this Authorisation.
- If approved, the applicant is to pay the application fee of \$194 (GST exempt). If additional fees or a higher fee applies in accordance with our fees and charges, a separate invoice for the balance will be provided by council.

Please allow four (4) weeks for requests to be considered. We endeavour to support all requests, however in some instances the proposed use of council land may not be deemed appropriate and therefore may not be approved. A separate Authorisation may be issued by the City of Onkaparinga if deemed appropriate.

I/we (the 'Applicant')				(the Property Owner/s)
On behalf of organisation		ABN		
Postal address				Postcode
Daytime contact number		Email		
Location of works				

Note 1

If a recent Development Approval has been granted for works, you may not require a separate Authorisation (please check with a Council Planner).

Note 2

The Act provides that a road extends from property boundary to property boundary and includes the carriageway, footpaths and verges.

Note 3

The following are considered road altering activities pursuant to the Act where it is an offence to undertake them without an Authorisation from the council. *Tick the applicable nature of proposed alteration.*

Alter the construction or arrangement of the road to facilitate access to/from the property.

Erect or install a structure (including pipes, wires, cables, fixtures, fittings or other objects) in, on, across, under or over the road.

Change or interfere with the construction, arrangement or materials of the road.

Change, interfere with or remove a structure (including pipes, wires, cables, fixtures, fittings or other objects) associated with the road.

Plant, interfere with or remove a tree or vegetation from the road.

Property type

Residential

Industrial

Is this work:

Part of an existing or ongoing Development Application being processed.

DA number (if known)

Private work by a property owner (insurance details must be provided before this application is progressed for approval).

Type of works (tick applicable works)

Invert/crossover extension or modification

Second invert/crossover (properties with two frontages only)

Relocate existing invert/crossover

Stormwater from boundary to gutter

Erect or install a structure

Plant, interfere with or remove a tree or vegetation from the road

Indirect water works

Details and specifications for the proposed alteration are (include reasons):

Attach plan showing measurements of the proposed works, existing road, property boundaries and existing fixed objects. Plan checklist below.

Street name

Stormwater outlets

House address

Stormwater drainage pits and verge width

Footpath

Bus stops/shelters

Council trees

Verge vegetation

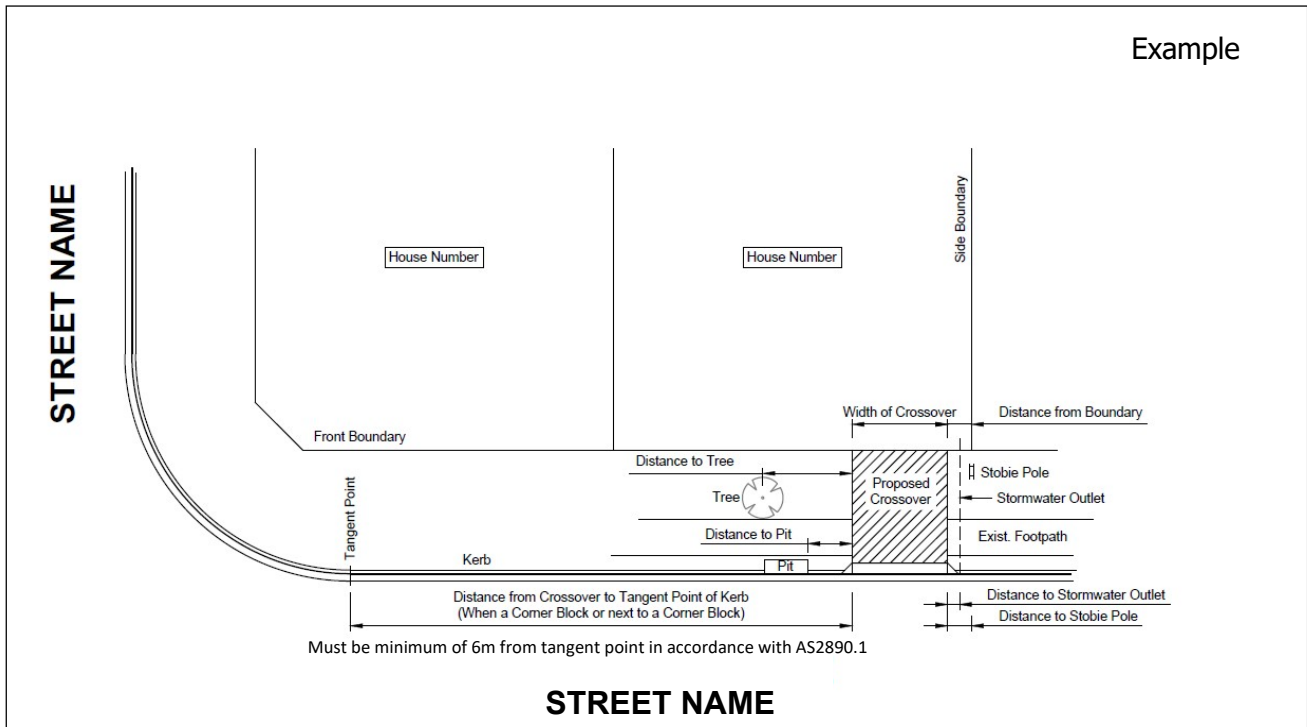
Fire plugs/hydrants

Telstra pits

SAPN stobie poles

Distances between any of these to location of works

Your plan should look similar to the example



Photos of existing infrastructure should be taken from the 3 points as indicated above. The photos should capture all of the infrastructure indicated within the drawing.

Crossover material type

Concrete	Colour	<input type="text"/>	Style	<input type="text"/>
Block paver	Colour	<input type="text"/>	Style	<input type="text"/>
Hotmix		<input type="text"/>		

Is the proposed alteration Permanent Temporary

Indicate period from to

General Conditions

The Applicant further agrees:

1. For the term of the Authorisation, to comply with all applicable industry standards, health or safety standards, current Standards Australia or any applicable Code of Practice.
2. To ensure that all works carried out are undertaken:
 - to the highest standard
 - promptly and with due care, skill and diligence
 - minimising impact on affected neighbouring properties so as not to cause a nuisance or restrict access to other properties
 - ensuring the road is kept in a clean and tidy condition during any works.
3. To ensure that any alteration to the road does not interfere with or cause damage to or in any way affect the property of any other person.
4. To comply with any direction given by any authority, statutory authority or Council to remove, maintain or otherwise modify the alteration to the road subject to this Authorisation.
5. That all fixtures and equipment erected or installed in, on, across, under or over the road remain the property of the Applicant pursuant to Section 209 of the *Local Government Act 1999*.
6. At all times to indemnify council, its servants and/or agents against all actions, costs, claims and demands for injury, loss or damage arising out of any negligent act or omission of the Applicant in relation to the alteration to the road, the granting of this Authorisation and the general and special conditions contained herein and such indemnity shall be in addition to any statutory immunity in favour of council.
7. **The Applicant and any contractor or invitee of the Applicant undertaking the works must ensure they hold valid public liability insurance with cover to a minimum of \$20,000,000 during the period of the works.**
8. At the expiration or earlier termination of this Authorisation to remove, if so directed by council, any structure or object erected or installed on the road and to reinstate the road to the satisfaction of council at the Applicant's sole cost. If the Applicant does not undertake reinstatement works as requested to the satisfaction of council, then we may undertake the works and reserves the right to recover the costs from the Applicant as a debt.
9. The Applicant must keep this Authorisation and produce it upon request to an Authorised council officer and comply with any requirements.
10. Council accepts no responsibility for damage to any private or public infrastructure however so arising, including but not limited to any damage that may be caused by road maintenance and or construction by council or any other approved/authorised person/entity conducting the works.
11. Any future alterations necessary through road widening or other works by council shall be carried out by the Applicant with council's permission at no cost to council.
12. This Authorisation does not confer on the Applicant any exclusive right, entitlement or interest in the road and does not derogate from council's powers arising under the *Local Government Act 1999*.
13. Works on council land must be completed within twelve (12) months of application approval.

14. Upon completion of excavation works the Applicant shall ensure reinstatement works are thoroughly backfilled and compacted as set out in the standard specifications "Technical Services Standard Details"
<https://www.onkaparingacity.com/Planning-and-development/Development-FAQs>
15. For the term of the Authorisation, to maintain all fixtures and equipment erected or installed, or vegetation planted, in good condition and to recognised standards.
16. Finished levels on crossover must match the existing footpath levels to ensure that there are no steps, depressions or other tripping hazards within the pedestrian walkway. If levels cannot be matched, the footpath alongside the crossover must be ramped at a slope no steeper than 1 in 20. Ramping of the footpath must be approved by council.
17. Where a new invert and crossover is constructed to replace an existing invert and/or crossover, the existing invert must be closed and the kerb, footpath and verge area reinstated, in accordance with this specification and in material technique as per adjacent infrastructure.
18. Invert must be poured integrally with water table, ie. the entire kerb and water table must be excavated prior to construction. The practise of breaking away the top kerb section of existing integral kerb and water table is unacceptable.
19. Other structures on the street (ie. trees, power poles, signs and services etc.) may not be moved, altered or interfered with in any way except with the express, written approval of the relevant authority and council.
20. Standard driveway apron width across the verge area should not exceed (unless otherwise approved):
 - 4 metres residential dwelling
 - 6 metres for shared driveway servicing multiple dwellings
 - 6 metres commercial/industrial dwelling
21. Requests for second driveways will only be approved if a property has more than one frontage, unless the alteration is required for traffic safety management or to gain access to a new carport or garage.
22. Inverts and crossovers may not be constructed within ten metres of an intersection.
23. Inverts and crossovers may not be constructed within one metre of stobie poles.

Special conditions to erect or install a structure including pipes - indirect water works

Where crossing a constructed road:

- The pipe is to be sleeved to allow withdrawal in the event of damage from soakage, without the necessity of digging up the road.
- The pipe is to be connected with union joints adjacent to the boundaries of the properties and the road to facilitate withdrawal if necessary.
- The trench to lay the pipe and sleeve is to be excavated so that the pipe and sleeve will be at least 600mm below the water table or lowest elevation of the road.

Where parallel to a road:

- The pipe shall be at least 600mm for water below natural surface.
 - The alignment of the pipe shall be as close to 600mm running parallel to the property boundary.
 - The water pipe crossing a road is to be at least 600mm below the invert of any stormwater drain to facilitate silt removal.
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Attach the following items (indicate using tick boxes that items are attached)

Plan showing alteration

Photos of existing infrastructure

Public liability insurance

In making this application to the City of Onkaparinga ("council") for an Authorisation to alter the road, I/we acknowledge that I/we have read, understand and agree to be bound by the Conditions of the Authorisation and declare that the particulars provided by me/us with regard to the proposed alteration are true and accurate.

Dated the day of 20

Signed by Applicant/s (Property Owner/s)

Name/s

Please submit application by post or email to:

Permits and Licences Officer
City of Onkaparinga
PO Box 1
NOARLUNGA CENTRE SA 5168
Email: mail@onkaparinga.sa.gov.au

OFFICE USE ONLY

Planning

Recommendation:

Approve

Decline

Conditions and/or comments

Technical Services (traffic)

Recommendation:

Approve

Decline

Conditions and/or comments

Technical Services (specifications)

Recommendation:

Approve

Decline

Specifications required for works

Conditions and/or comments

Assets

Recommendation:

Approve

Decline

Conditions and/or comments

Parks and Facility Operations

Recommendation:

Approve

Decline

Conditions and/or comments



Authorisation to Alter a Public Road Application Form

OFFICE USE ONLY

Authorisation

APPROVED / DENIED Authorisation number _____

Council specification for alteration to road attached YES / NO Refer SD _____

Special Conditions attached YES / NO

Signed for and on behalf of City of Onkaparinga

Manager Property and Commercial

Date

Receipt number _____ Fee paid \$ _____ ECM Ref _____

Notified Civil Maintenance of approval