

Minor residential outbuildings guide

How to lodge your development application

Provide to Council:

- a completed and signed [Development Application form](#)
- a copy of the current Certificate of Title
- a copy of your site plan (to scale)
- a copy of your building plans and elevations (to scale)
- a copy of any manufacturer's standard specifications
- a completed and signed Electricity Act Declaration Form
- if the proposed development involves the construction of a verandah or carport attached to the existing dwelling, and the dwelling was constructed between 1970 and 1997, details of the existing roof construction are required. If the roof was constructed using nail-plate timber trusses, a report from a suitable licensed builder is required.

Applications can be emailed to council via applications@onkaparinga.sa.gov.au or Council staff will be able to assist you with the lodgement process at the front counter.

Plans and elevations

Show on the drawings:

- all boundaries
- the direction of north
- the distances of all structures to the boundaries and to other structures
- how stormwater is to be managed
- the wind speed
- the width, length and height of the proposed structure/s
- the size and spacing of all members
- the size and depth of any footings
- the type and stress grade of the timber
- rafter stiffening and fascia strengthening details
- the type of roof cover on the existing dwelling eg concrete tiles or iron sheeting
- the location of any existing/ proposed driveways and affected infrastructure
- the location and details of any affected significant or regulated trees and/or native vegetation
- the location of any septic tank and soakage area.

Example drawings are provided on the following page.

Assessment process

Some minor forms of building work don't need development approval from Council. These are set out in clause 4, [Schedule 3 of the Development Regulations 2008](#).

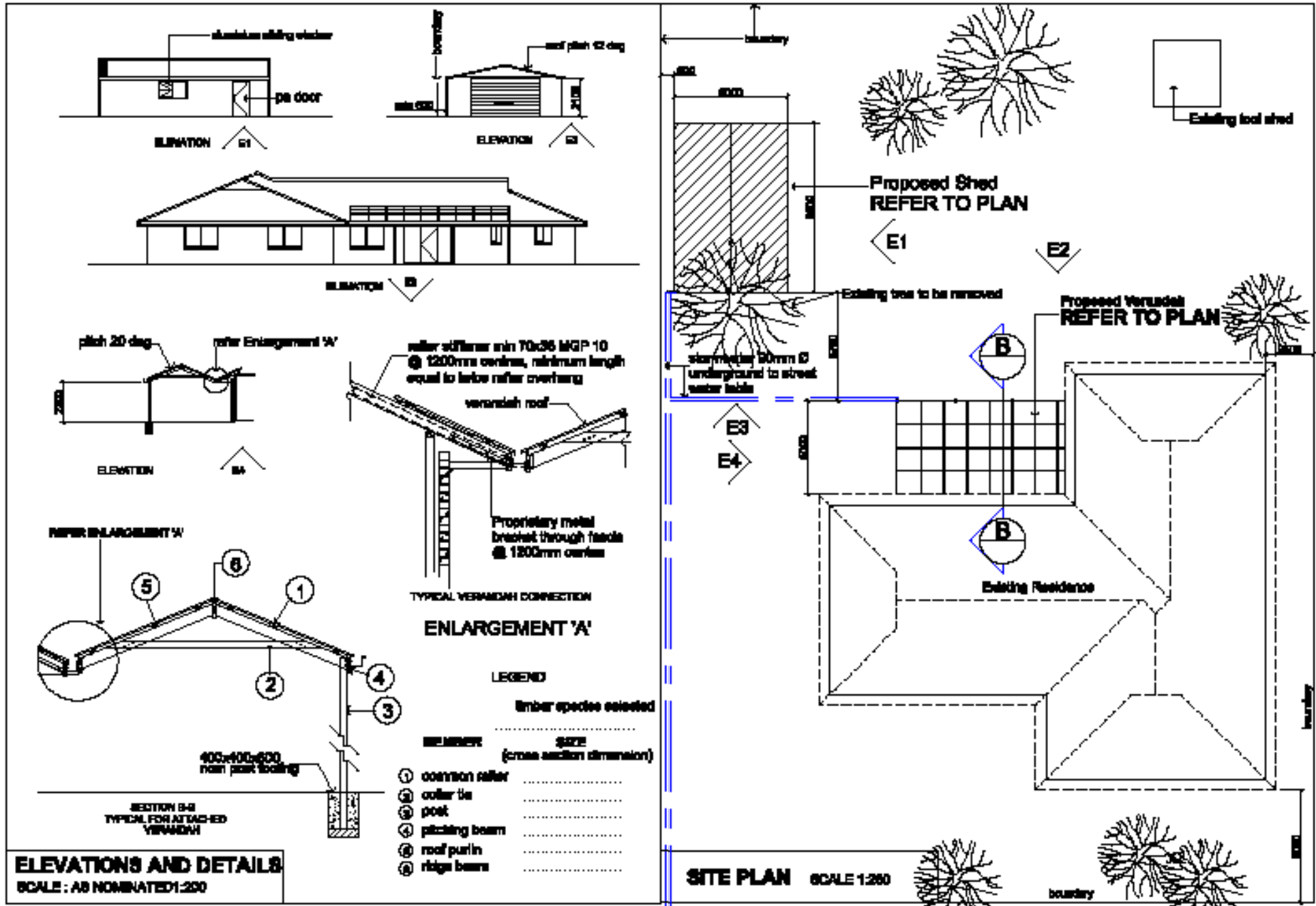
Other forms of minor building work may require a Building Rules Consent (BRC) only, and Development Plan Consent (DPC) may not be required or may be eligible for Residential Code complying development. Refer to the State government's website <http://www.sa.gov.au> for more information.

The BRC, and the DPC if Code complying, can be granted by either Council or a [Accredited professional](#) Development Approval must be granted by Council before building work can commence.

Assessment times can vary from 2 weeks to 12 weeks depending on what is proposed, whether the necessary information has been provided and whether [public notification](#) is required.

Further information, including how to track your development application, can be found on Council's website onkaparingacity.com

Example Drawings



ELEVATIONS AND DETAILS
SCALE: AS NOMINATED 1:200

SITE PLAN SCALE 1:200